

PROPOSED PROJECT FOR:

TOP SHELF BURTON, LLC

4463 S DORT HWY.



ARCHITECT: AMAG ARCHITECT
CONTRACTOR: TOP SHELF BURTON, LLC

PROPOSED PROJECT FOR:
TOP SHELF BURTON, LLC
4463 S DORT HWY.

Date	Description	Rev.

COVER SHEET

Project number 2037

G100

Scale 3/16" = 1'-0"

PROJECT TEAM	APPROVAL AGENCIES	GENERAL CODE REVIEW	CODE REVIEW - REHABILITATION	VICINITY MAP
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OWNER/APPLICANT:
TOP SHELF BURTON, LLC
4463 SOUTH DORT HWY.
BURTON, MI 48529
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CONTACT: JEFF MCGEE
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ARCHITECT:
AMAG, LLC
4488 WEST BRISTOL ROAD
FLINT, MICHIGAN 48507
CONTACT: DAVID MCLANE, AIA, NCARB
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LOCAL MUNICIPALITY
CITY OF BURTON
4093 MANOR DRIVE
BURTON, MICHIGAN 48519
PHONE: (810) 742-9230
ZONING OFFICIAL: AMBER ABBEY
E-MAIL: A.ABBEY@BURTONMI.GOV
PHONE: (810) 742-9230, EXT. 3103

BUILDING CODE: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - 2015
REFERENCED CODES: MICHIGAN BUILDING CODE - 2015
MICHIGAN MECHANICAL CODE - 2015
MICHIGAN PLUMBING CODE - 2015
NATIONAL ELECTRICAL CODE: 2017 (W/ PART 8 AMENDMENTS)
BARRIER-FREE - ICC/ANSI A117.1 - 2009
MICHIGAN FIRE CODE - 2015

USE GROUP: REAR PORTION: NEW USE: F-1 (SECTION 306) - GROW FACILITY
FRONT BUMP OUT: NEW USE: B (SECTION 304) - PROVISIONING CENTER

OCC. SEPARATION: NONE REQUIRED (TABLE 508.4).

CONSTRUCTION TYPE: EXISTING FRONT BUILDING: TYPE IIIIB (SECTION 602.3 & TABLE 601)

BUILDING AREA: TABULAR ALLOWED: 34,000SF (F-1); 36,000SF (B)
EXISTING BUILDING: 29,425 SF (FOOTPRINT); 28,854 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)
GROW AREA: 10,603 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)
PROVISIONING CENTER SPACE: 1,720 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)

CHAPTER 3: COMPLIANCE METHODS.
301.1.2: WORK AREA COMPLIANCE METHOD. COMPLIANCE WITH THE APPLICABLE REQUIREMENTS OF CHAPTERS 5 THROUGH 10.
CHAPTER 4: PRESCRIPTIVE COMPLIANCE METHODS.
COMPLIANCE APPLICABLE PER SECTION 806.
CHAPTER 5: CLASSIFICATION OF WORK.
501.2: WORK AREA IS AN INTERIOR REMODEL OF A PORTION OF THE EXISTING SPACE AS SHOWN ON THE FLOOR PLAN.
502: REPAIRS TO BE IN COMPLIANCE WITH CHAPTER 6.
503: ALTERATIONS - LEVEL 1: APPLICABLE. COMPLIANCE WITH CHAPTER 7 REQUIRED.
504: ALTERATIONS - LEVEL 2: APPLICABLE. COMPLIANCE WITH CHAPTERS 7 & 8 REQUIRED.
505: ALTERATIONS - LEVEL 3: NOT APPLICABLE. ALTERATIONS LESS THAN 50% OF BUILDING AREA (12,323 SF / 28,854 SF = 0.427 * 100 = 42.7%)
506: CHANGE OF OCCUPANCY. APPLICABLE. COMPLIANCE WITH CHAPTER 10.
507: NOT APPLICABLE. NO NEW ADDITIONS.
508: NOT APPLICABLE. BUILDING IS NOT HISTORIC.
509: NOT APPLICABLE. NO RELOCATED BUILDINGS.
CHAPTER 6: REPAIRS.
601.2: NEW WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN.
602.1: EXISTING COMPLIANT BUILDING MATERIALS WILL REMAIN IN USE WHERE APPLICABLE.
602.2: NEW MATERIALS, AS PERMITTED BY MBC FOR NEW CONSTRUCTION, WILL BE USED.
602.3: NO REPLACEMENT GLAZING IN HAZARDOUS AREAS.
603.1: REPAIRS WILL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.
604.1: REPAIRS WILL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION FOR MEANS OF EGRESS.
605.1: REPAIRS WILL BE DONE THAT MAINTAIN THE LEVEL OF ACCESSIBILITY REQUIRED.
606: NO ANTICIPATED STRUCTURAL REPAIRS OF EXISTING.
607.1: EXISTING ELECTRICAL WIRING & EQUIPMENT REPAIR WILL COMPLY, IF APPLICABLE.
608.1: EXISTING MECHANICAL SYSTEMS UNDERGOING REPAIR, IF APPLICABLE, WILL NOT MAKE THE BUILDING LESS CONFORMING THAN BEFORE THE REPAIR.
609.1: PROHIBITED PLUMBING MATERIALS & SUPPLIES WILL NOT BE USED FOR REPAIRS.
CHAPTER 7: ALTERATIONS - LEVEL 1.
701.1: EXISTING BUILDING, OR PORTION THEREOF, SHALL NOT BE ALTERED SUCH THAT THE BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION.
702.1: ALL NEW INTERIOR WALL AND CEILING FINISHES TO COMPLY WITH CHAPTER 8 OF MBC.
702.2: NEW INTERIOR FLOOR FINISHES TO COMPLY WITH SECTION 804 OF MBC.
702.3: ALL NEW INTERIOR TRIM SHALL COMPLY WITH SECTION 806 OF MBC.
703.1: ALTERATIONS WILL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.
704.1: ALTERATIONS WILL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION FOR MEANS OF EGRESS.
705.1: ALTERATIONS WILL BE DONE THAT MAINTAIN THE LEVEL OF ACCESSIBILITY REQUIRED.
706: NO REPLACEMENT OR RECOVERING OF EXISTING ROOF IS ANTICIPATED.
707.1: NO STRUCTURAL MODIFICATIONS ANTICIPATED.
708.1: ENTIRE BUILDING NOT REQUIRED TO COMPLY WITH ENERGY CODE. ALTERATIONS SHALL COMPLY AS THEY RELATE TO NEW CONSTRUCTION ONLY, IF APPLICABLE.
CHAPTER 8: ALTERATIONS - LEVEL 2.
801.3: NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS & SPACES SHALL COMPLY WITH THE MBC. WINDOWS ADDED w/o REQUIRED COMPLIANCE WITH THE MBC LIGHT & VENTILATION PARAMETERS. ELECTRICAL SHALL COMPLY WITH MBC SECTION 808. NO DEAD END CORRIDORS. CEILINGS GREATER THAN 7'-0" HEIGHT.
802: NOT APPLICABLE. NO SPECIAL USE OR OCCUPANCY.
803.2: VERTICAL OPENINGS. NOT APPLICABLE.
803.4: INTERIOR FINISHES SHALL COMPLY WITH THE REQUIREMENTS OF THE MBC.
804.2: AUTOMATIC SPRINKLER SYSTEM REQUIRED PER CITY OF BURTON FIRE CODE.
804.4: SMOKE DETECTORS AS APPLICABLE.
805: NOT APPLICABLE. NO SHARED EXITS OR CORRIDORS BY MORE THAN ONE TENANT.
806: ACCESSIBILITY SHALL COMPLY WITH SECTION 410.
807: NEW STRUCTURAL ELEMENTS, OR MODIFICATIONS TO EXISTING STRUCTURAL ELEMENTS, IF APPLICABLE, SHALL COMPLY WITH MBC. NONE ANTICIPATED.
808: NEW ELECTRICAL SHALL COMPLY WITH NFPA 70 REQUIREMENTS.
809: RECONFIGURED, CONVERTED, EXTENDED OR ALTERED MECHANICAL COMPONENTS SHALL COMPLY WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE MECHANICAL CODE.
810: PLUMBING FIXTURES TO COMPLY WITH THE MPC BASED ON NEW OCCUPANT LOAD.
811: ENTIRE BUILDING NOT REQUIRED TO COMPLY WITH ENERGY CODE. ALTERATIONS SHALL COMPLY AS THEY RELATE TO NEW CONSTRUCTION ONLY.
CHAPTER 9: ALTERATIONS - LEVEL 3.
NOT APPLICABLE. ALTERATIONS LESS THAN 50% OF BUILDING AREA.
CHAPTER 10: CHANGE OF OCCUPANCY.
1001.2: APPLICABLE. CHANGE OF OCCUPANCY.
1001.3: APPLICABLE. CERTIFICATE OF OCCUPANCY REQUIRED.
1002: NOT APPLICABLE. NO SPECIAL USE AND OCCUPANCY.
1003: COMPLIANCE WITH SECTION 1012 REQUIRED.
1004: COMPLIANCE WITH SECTION 1012 REQUIRED.
1005: COMPLIANCE WITH SECTION 1012 REQUIRED.
1006: COMPLIANCE WITH SECTION 410.4 REQUIRED.
1007: NOT APPLICABLE. NO INCREASE IN HIGHER UNIFORM OR CONCENTRATED LOADS AFFECTING STRUCTURAL.
1008: ELECTRICAL UNSAFE CONDITIONS, IF APPLICABLE, TO BE CORRECTED. COMPLIANCE WITH NFPA 70 REQUIRED FOR SERVICE UPGRADES. NUMBER OF ELECTRICAL OUTLETS TO COMPLY WITH NFPA 70.
1009: INCREASED MECHANICAL VENTILATION REQUIREMENTS, IF APPLICABLE, SHALL COMPLY WITH THE MMC.
1010: PLUMBING FIXTURES TO COMPLY WITH MPC REQUIREMENTS, AS APPLICABLE.
1011: LIGHT & VENTILATION SHALL COMPLY WITH THE REQUIREMENTS OF MBC FOR THE NEW OCCUPANCY.
1012: COMPLIANCE AS REQUIRED FOR CHANGE OF OCCUPANCY CLASSIFICATION.
CHAPTER 11: ADDITIONS.
NOT APPLICABLE. NO NEW ADDITIONS.
CHAPTER 12: HISTORIC BUILDINGS.
NOT APPLICABLE. BUILDING IS NOT HISTORICAL.
CHAPTER 13: RELOCATED OR MOVED BUILDINGS.
NOT APPLICABLE. BUILDING NOT RELOCATED OR MOVED.



PROJECT SCOPE OF WORK

REMODEL EXISTING BUILDING TO MARIHUANA GROW FACILITY.

SITE REVIEW

LOCAL ORDINANCE: CITY OF BURTON ZONING ORDINANCE (CHAPTER 157)
ZONING: M-1 (LIGHT INDUSTRIAL)
ZONING ADJACENCIES: NORTH: SOUTH, EAST: M-1 (LIGHT INDUSTRIAL), WEST: C-2 (GENERAL BUSINESS)

BUILDING AREA: EXISTING BUILDING: 29,425 SF (FOOTPRINT); 28,854 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)
GROW AREA: 10,603 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)
PROVISIONING CENTER SPACE: 1,720 SF (INTERIOR - EXCLUDING EXTERIOR WALLS)

PROPERTY AREA: EXISTING SITE - TRACT 1: 153,989SF (3.535 ACRES), PER SURVEY

BUILDING USE: REAR PORTION OF BUILDING: MARIHUANA GROW FACILITY.
FRONT BUMP OUT: PROVISIONING CENTER.

SITE REQUIREMENTS: (SECTION 157.046 & 157.092 & APPENDIX 'A')
LOT AREA (MIN.): N/A. EXISTING CONDITION.
LOT WIDTH: N/A. EXISTING CONDITION.
LOT COVERAGE (MAX.): 50% (EXISTING CONDITIONS, NO PROPOSED CHANGES).
FRONT YARD SETBACK (MIN.): 35' (EXISTING CONDITION, NO PROPOSED CHANGES).
SIDE YARD SETBACKS (MIN.): 20' ONE, 40' TOTAL TWO (EXISTING CONDITIONS, NO PROPOSED CHANGES).
REAR YARD SETBACK (MIN.): 35' (EXISTING CONDITION, NO PROPOSED CHANGES).

BUILDING HEIGHT: MAXIMUM HEIGHT: 35'-0" FEET; 2.5-STORIES (EXISTING: 26'-0" +/-, NO PROPOSED CHANGES)

DESIGN REGULATIONS: EXTERIOR FACADES: EXISTING FACADE FINISHES TO REMAIN (NO PROPOSED CHANGES).
BUILDING ROOF: EXISTING STANDING SEAM METAL ROOF (NO PROPOSED CHANGE).
LANDSCAPING: EXISTING CONDITIONS. (NO PROPOSED CHANGES).

SIGNAGE / LIGHTING: SIGNAGE: TO COMPLY WITH ZONING ORDINANCE REQUIREMENTS.
LIGHTING: TO COMPLY WITH SECTION 157.095 OF THE ZONING ORDINANCE.

PARKING LOT: GROW FACILITY: 5 SPACES & 1 FOR EACH EMPLOYEE ON LARGEST SHIFT.
(USE RESTRICTED OCCUPANCY: 6 MAX. OCCUPANT LOAD, PER OWNER).
EXISTING PARKING LOT: EXISTING CONDITION. ADEQUATE AREA FOR 11 SPACES. NO PROPOSED CHANGES.
IMPERVIOUS SURFACE AREA: EXISTING CONDITIONS, NO PROPOSED CHANGES.
LIGHT FIXTURES: EXISTING CONDITIONS, NO PROPOSED CHANGES.

BUILDING HEIGHT: TABULAR ALLOWED: 2-STORIES / 55' (TABLE 504.4 & 504.3); EXISTING BUILDING: 1-STORY (34'-6" +/-)

OCCUPANT LOAD: BUSINESS AREA (B): 974 SF / 100 = 10 OCCUPANTS
GROW AREA: F-1: 10,603 / 500 = 22 OCCUPANTS (LIMITED PER USE: ACTUAL 6 OCCUPANTS)

FIRE PROTECTION: CURRENTLY NOT SPRINKLED. REQUIRED PER CITY OF BURTON FIRE CODE COMPLIANCE.

BUILDING OF (CHARACTERISTICS) PLAN: NO NEW FLOOR AREA OR ADDITIONS ADDED TO THE BUILDING. RENOVATION OF EXISTING BUILDING IS A PORTION OF THE INTERIOR SPACE (SEE FLOOR PLAN).
PARKING LOT: EXISTING ASPHALT.

MEANS OF EGRESS: MIN. NUMBER REQUIRED (TABLE 1006.2.1); 2 REQUIRED, 2 PROVIDED AS EXISTING & NEW.
EGRESS WIDTH (SECTION 1005.1); 0.2"/PERSON (6/DOOR*0.2) = 1.2"/EXIT (36" EXISTING PROVIDED).
LIGHTING/SIGNAGE: PROVIDED AS REQUIRED.
PANIC HARDWARE (SECTION 1010.1.10); NOT APPLICABLE (<50 OCCUPANTS).
COMMON PATH EGRESS TRAVEL DIST. (SECTION 1006.2.1); 75 FEET MAX.
EXIT ACCESS TRAVEL DIST. (TABLE 1017.2); 250 FEET MAX.
CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1); NONE REQUIRED.

ACCESSIBILITY: PARKING (TABLE 1106.1); ONE (1) SPACE REQUIRED.
ENTRANCE: EXISTING CONDITION.
ROUTE: PROVIDED.
TOILET SINKS/FIXTURES: PROVIDED.
SIGNAGE: PROVIDED.

PLUMBING FIXTURES: LAVATORIES & TOILETS (TABLE 403.1);
FRONT BUMP OUT AREA: SINGLE USE TOILET & ONE LAV (PER MAXIMUM # OF OCCUPANTS < 15).
REAR GROW AREA: MEN & WOMEN: 1 PER 100 TOILET & LAV. (1 PROVIDED EACH)

DESIGN CRITERIA: EXISTING BUILDING. (DESIGN CRITERIA ASSUMED)
GROUND SNOW LOAD (LL): 30PSF.
DEAD LOAD: 10PSF.
WIND LOAD: 25PSF.
SOIL BEARING: 2,500PSF

BUILDING STRUCTURE: A STRUCTURAL REVIEW OR INSPECTION OF THE EXISTING BUILDING WAS NOT PERFORMED FOR THE DEVELOPMENT OF THIS SET OF DRAWINGS.

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EXISTING BUILDING NOTE	LEGAL DESCRIPTION	SYMBOL LEGEND
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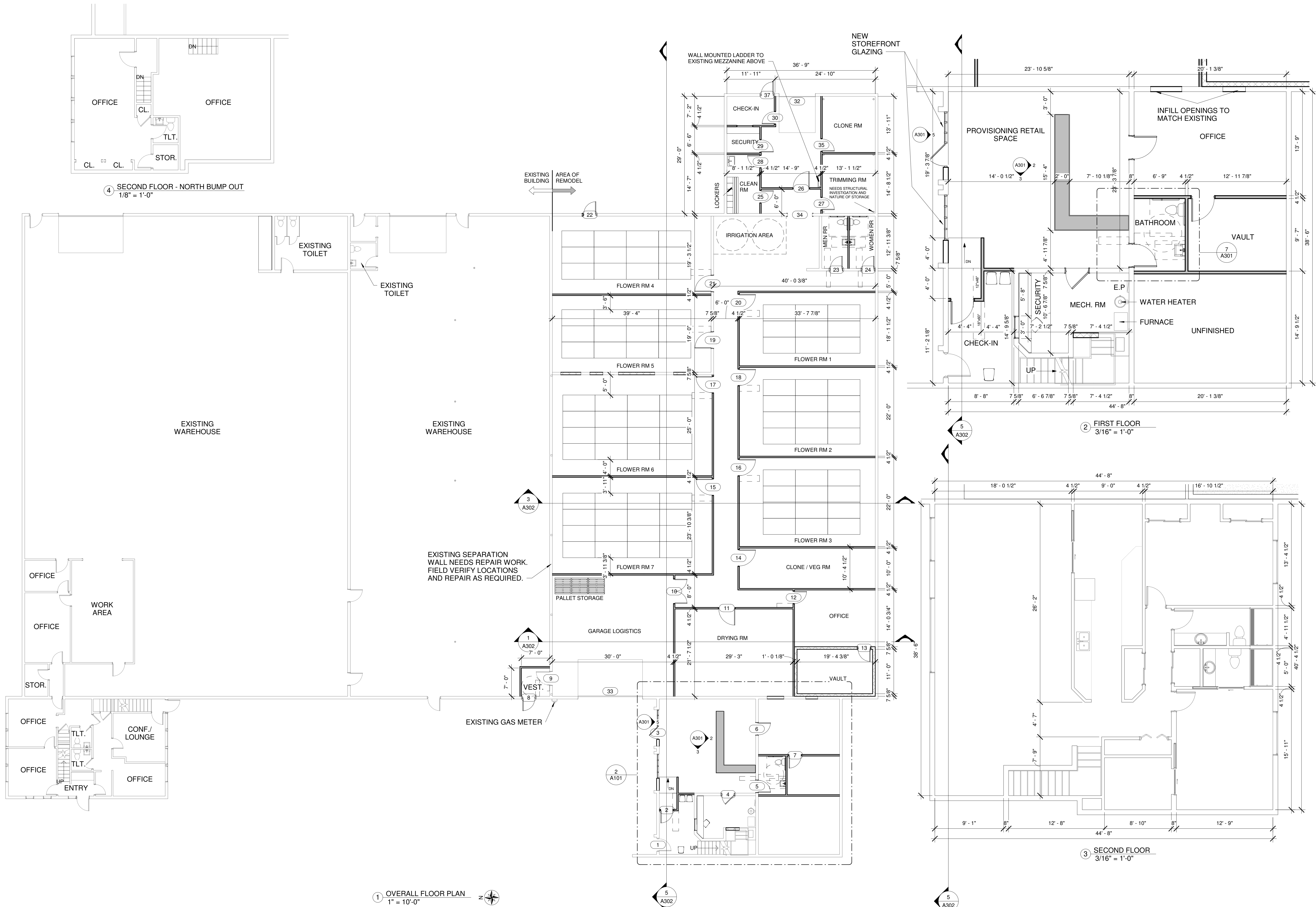
THIS SET OF DRAWINGS WERE GENERATED BASED ON EXISTING BUILDING FIELD OBSERVATIONS AND MEASUREMENTS. ORIGINAL SET OF CONSTRUCTION DRAWINGS WERE NOT AVAILABLE FOR USE. ELEMENTS OF THE ORIGINAL CONSTRUCTION THAT ARE NOT VISUALLY VERIFIABLE WOULD REQUIRE VERIFICATION UPON DEMOLITION. THESE WOULD INCLUDE, BUT ARE NOT LIMITED TO, EXISTING ITEMS HIDDEN BEHIND DRYWALL, TRIM, FLOORING, CABINETS, LAY-IN CEILING TILES, AND SIMILAR CAVITY AREAS. NOTIFY ARCHITECT IF FIELD CONDITIONS DIFFER FROM THOSE PRESENTED HERE WITHIN.

UTILITY WARNING
UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FILED LOCATED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

LEGAL DESCRIPTION

Symbol	Description	Symbol	Description
	SECTION REFERENCE		DOOR NUMBER
	DETAIL REFERENCE		SPOT ELEVATION
	EXTERIOR ELEVATION		DATUM
	INTERIOR ELEVATION		NORTH ARROW
	CALLOUT REFERENCE		KEYNOTE
	ROOM NAME / NUMBER		MATERIAL KEYNOTE

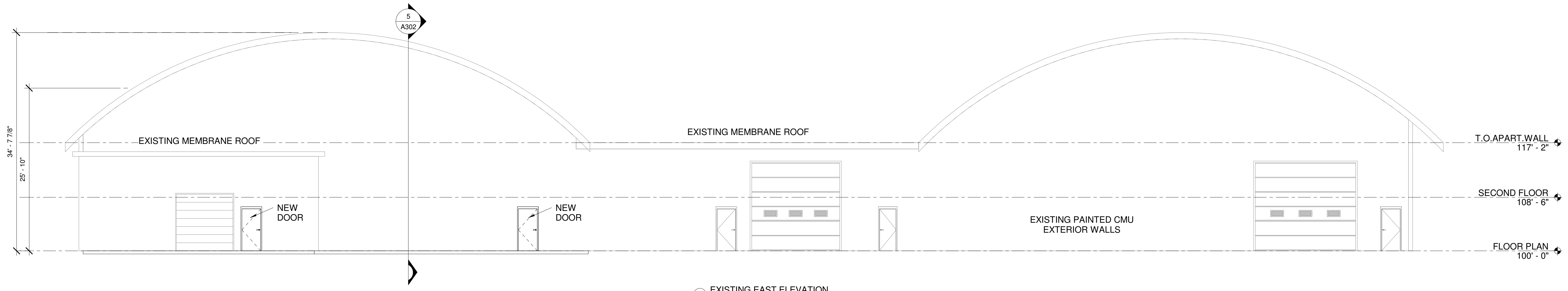


PROPOSED PROJECT FOR:
**TOP SHELF BURTON,
LLC**
4463 S DORT HWY.

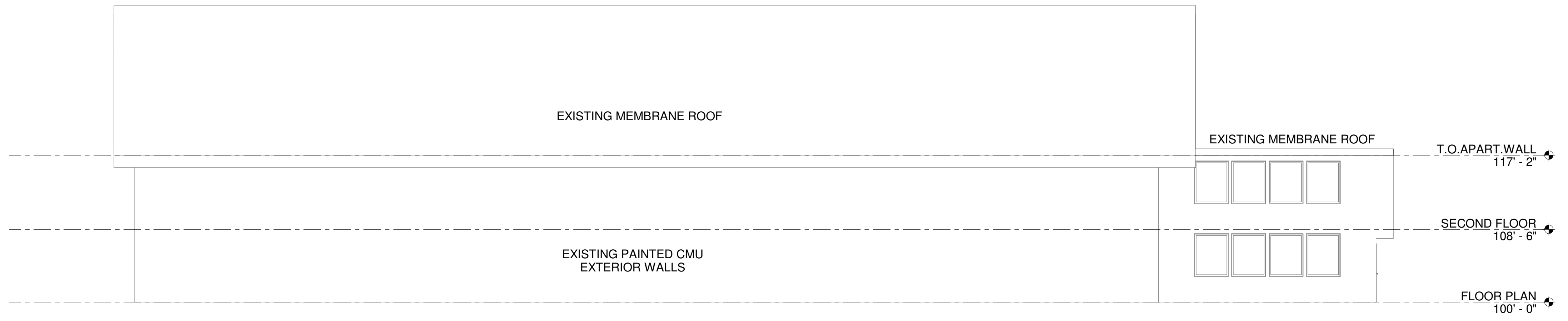
Project Phase:
Design
Permit
Construction

Rev.	Description	Date

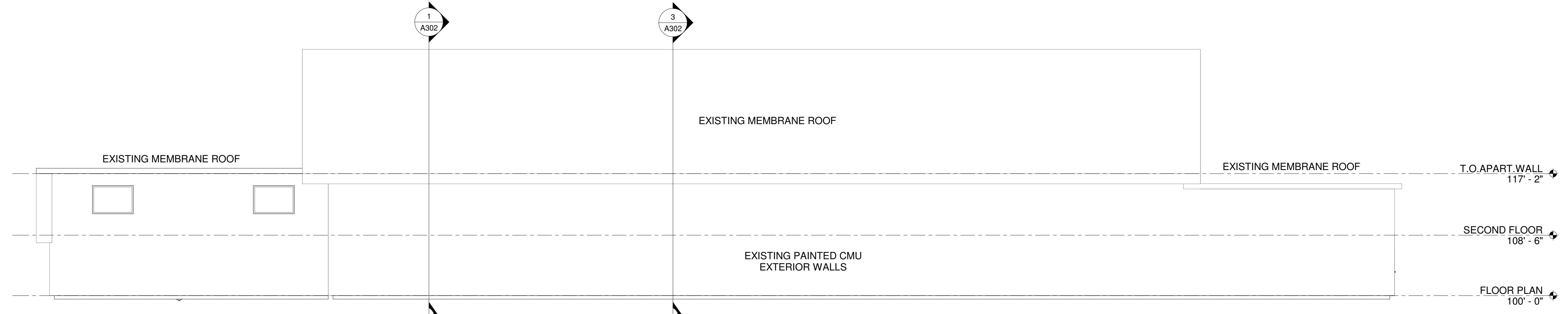
Project # 2037
Drawn by: Author
Checked by: Checker



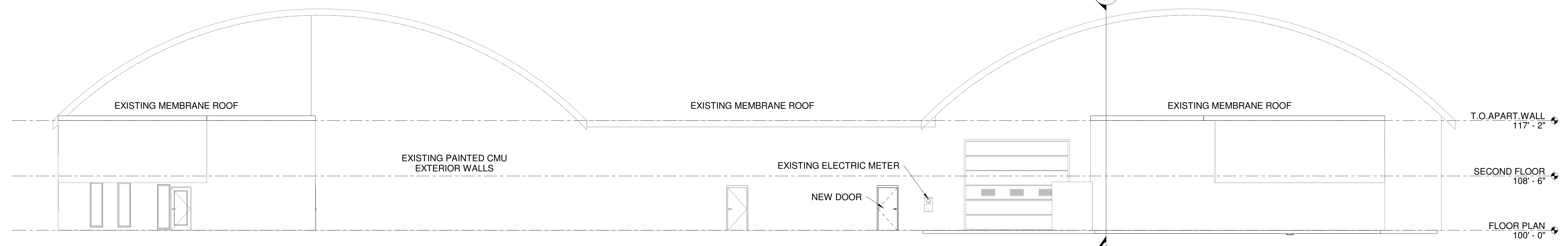
① EXISTING EAST ELEVATION
1/8" = 1'-0"



② EXISTING NORTH ELEVATION
1/8" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/8" = 1'-0"



④ EXISTING WEST ELEVATION
1/8" = 1'-0"

Contractor:

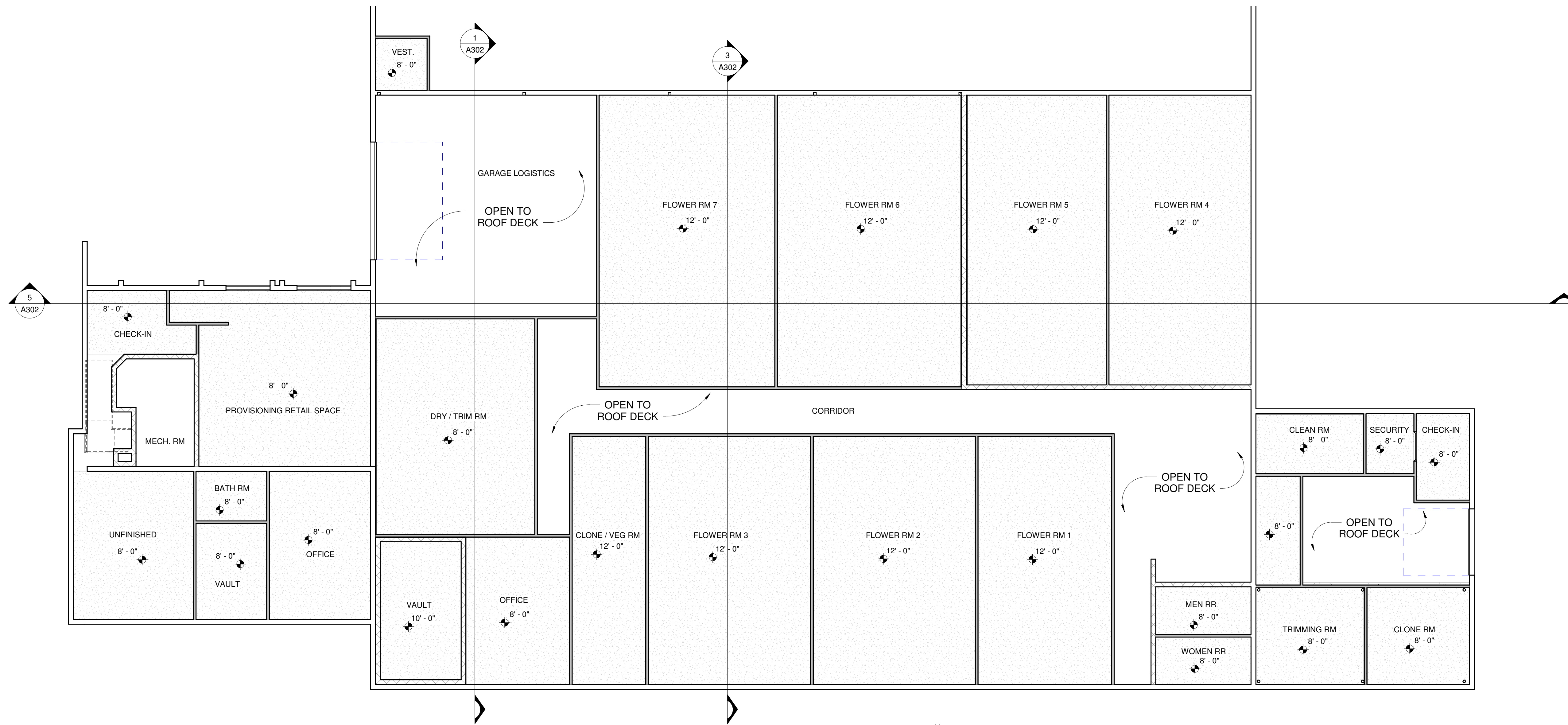
Project Phase:
Design
Permit
Construction

Date

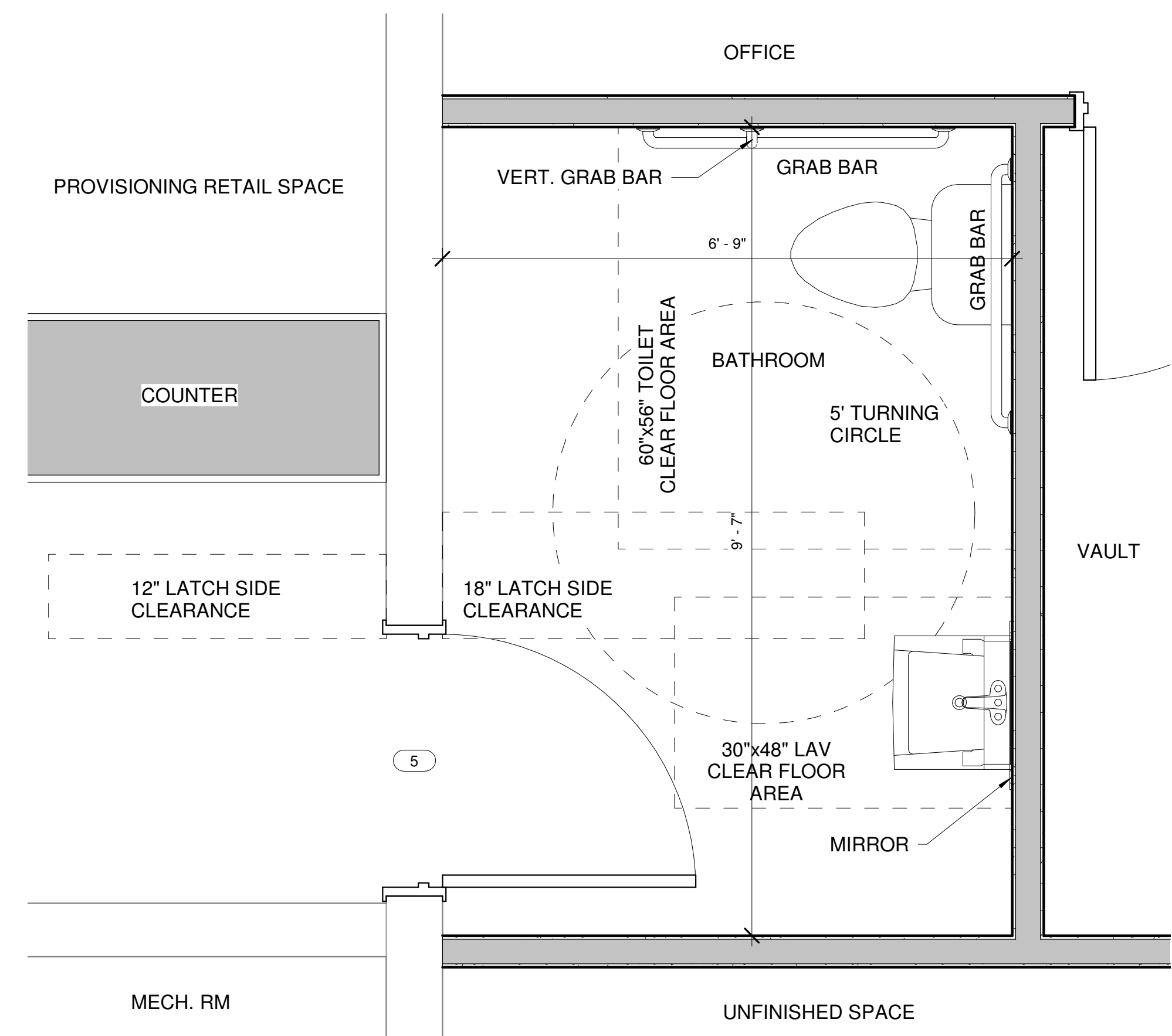
Rev. Description

Project # 2037
Drawn by: Author
Checked by: Checker

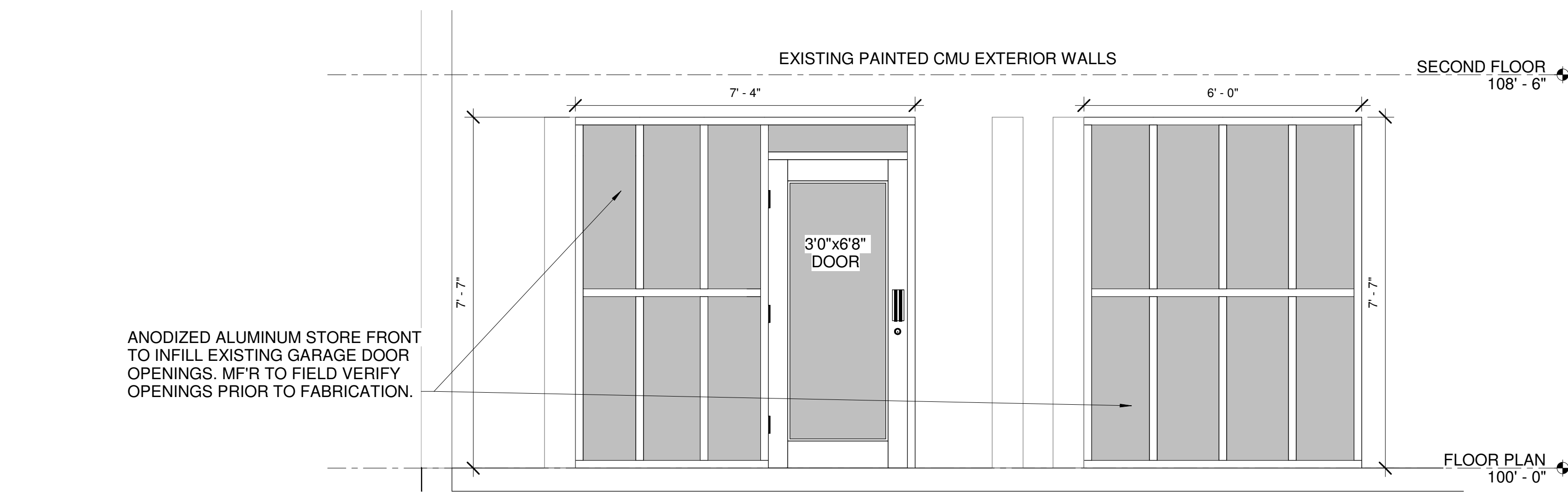
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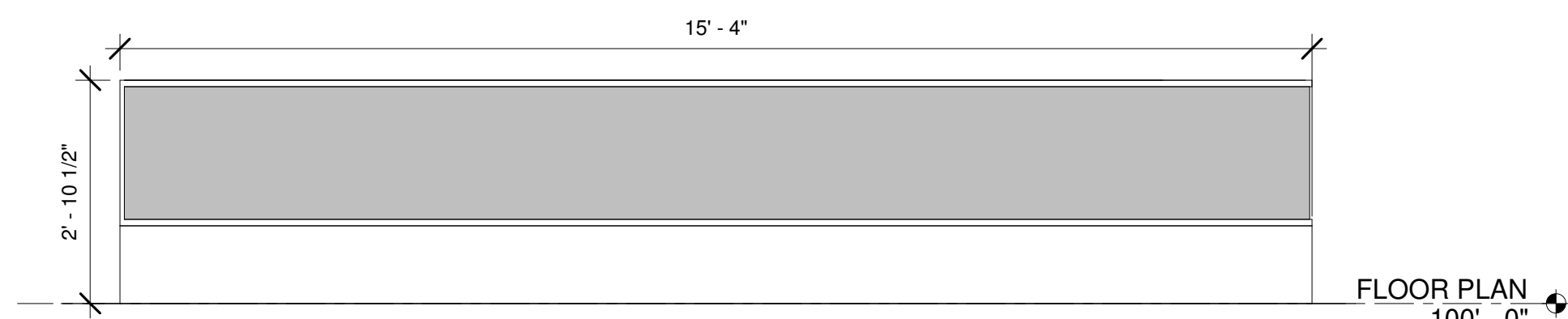
6 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



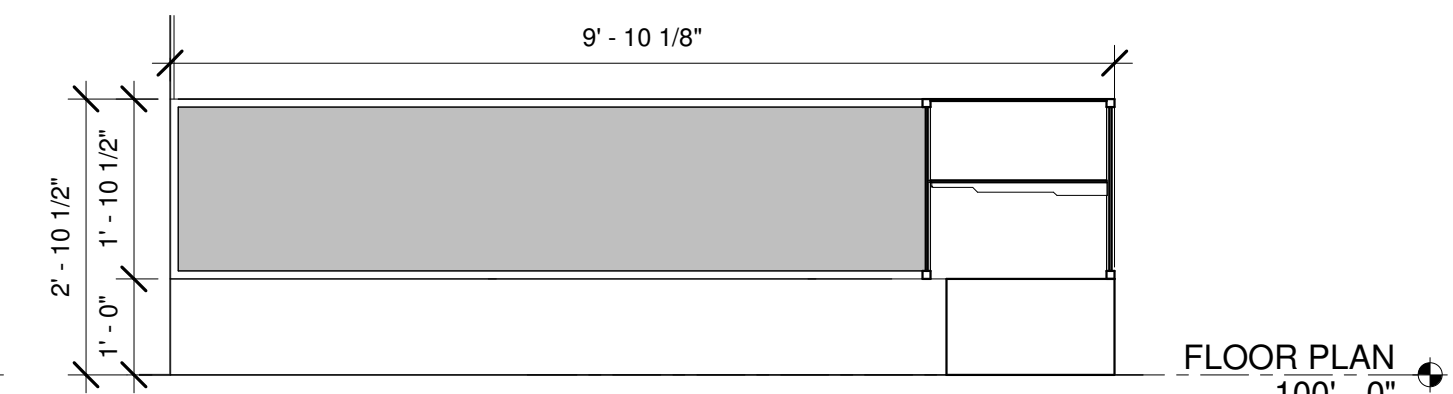
7 ENLARGED BATHROOM PLAN
3/4" = 1'-0"



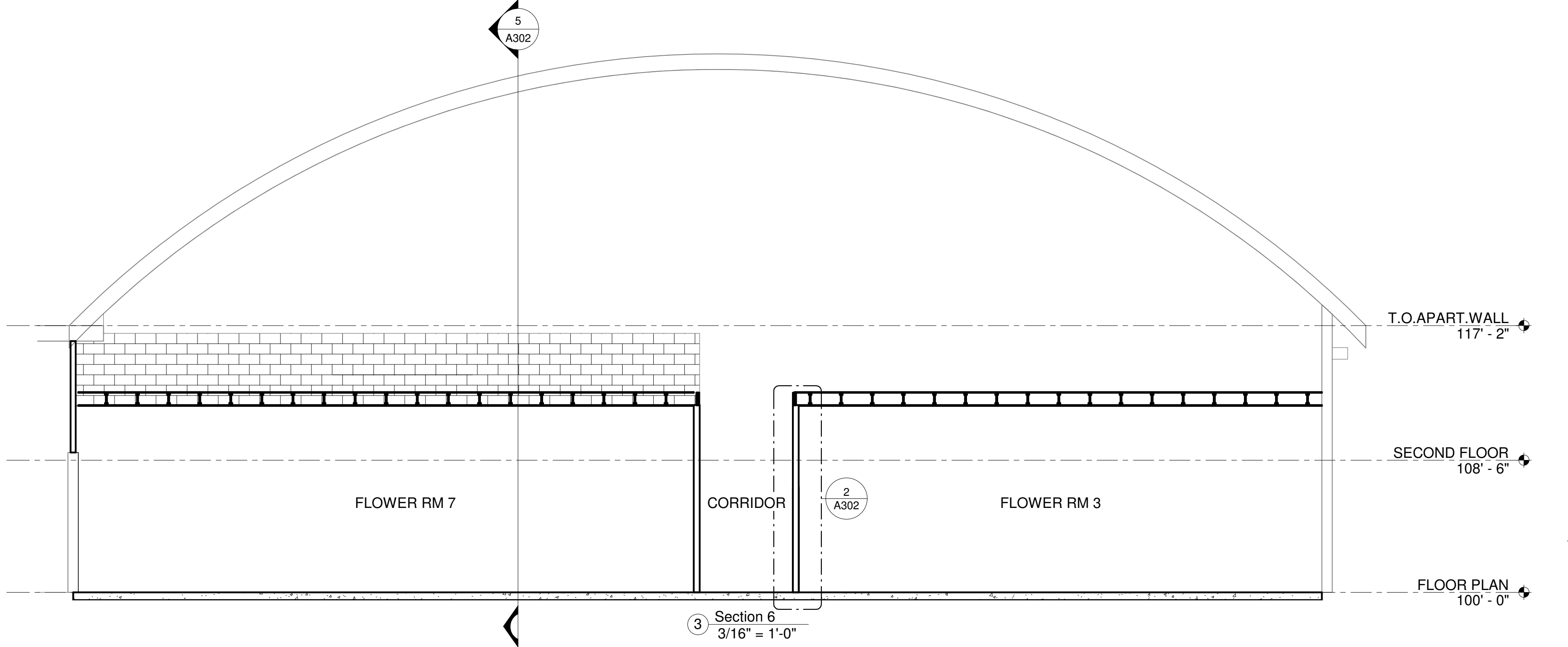
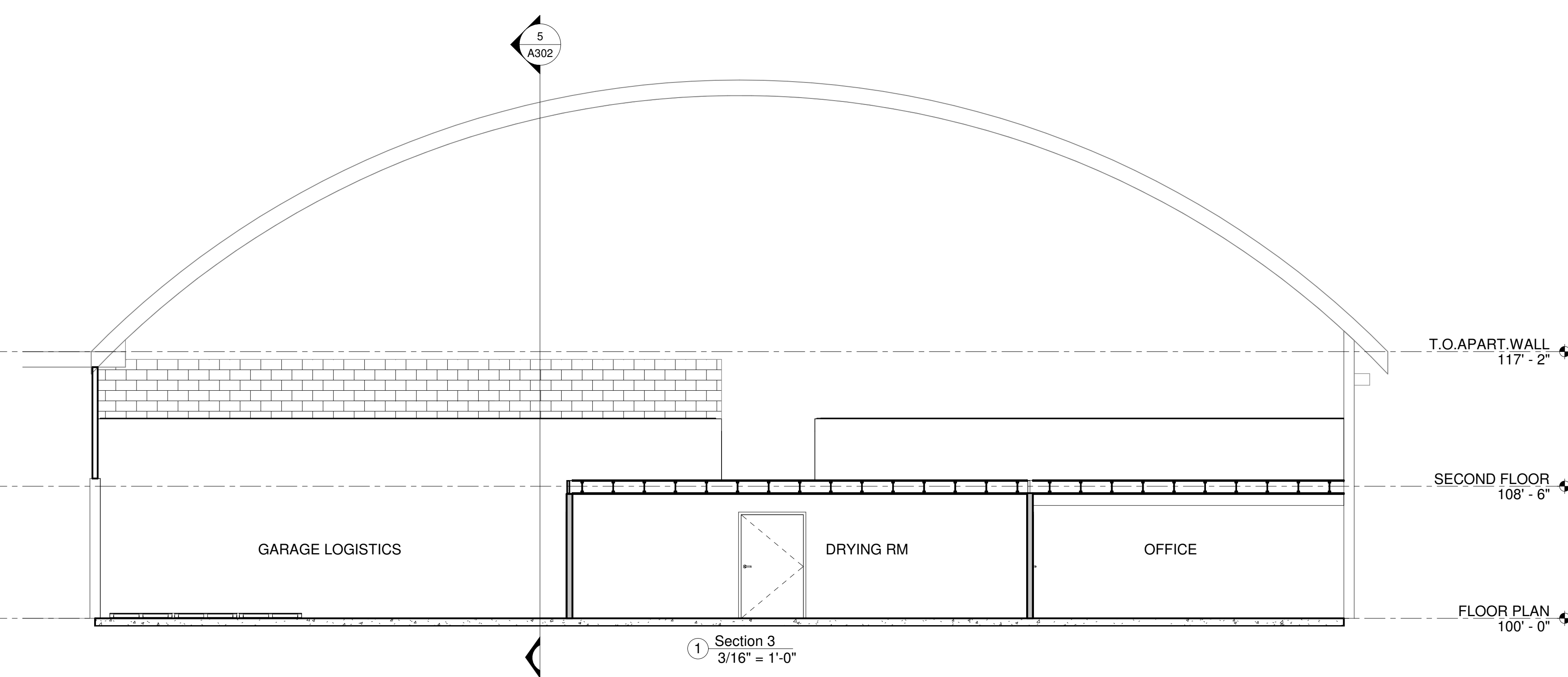
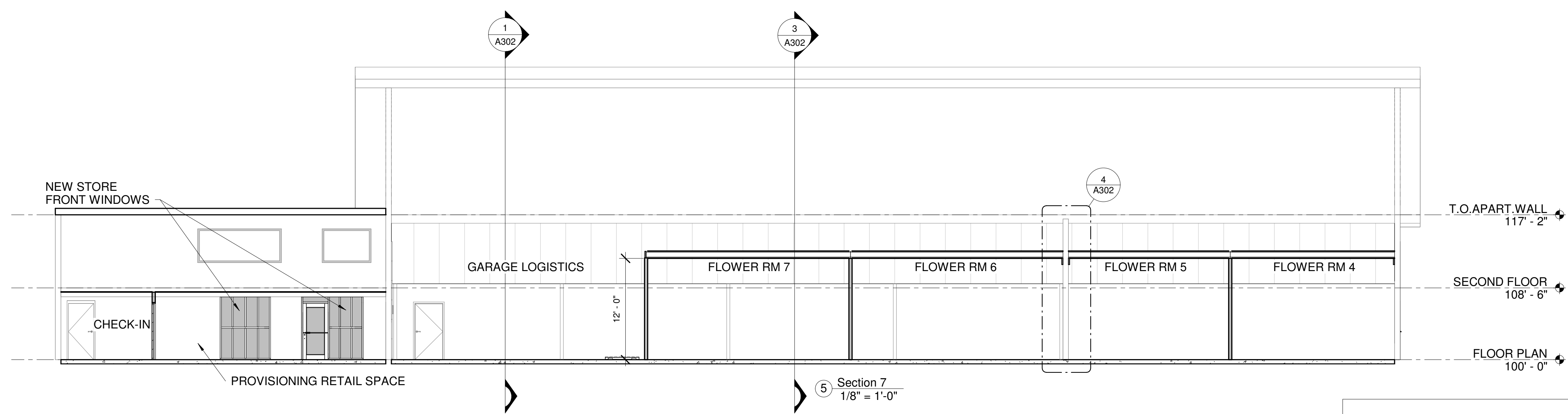
5 RETAIL SPACE EXTERIOR ELEVATION
1/2" = 1'-0"



2 RETAIL SPACE COUNTER
1/2" = 1'-0"

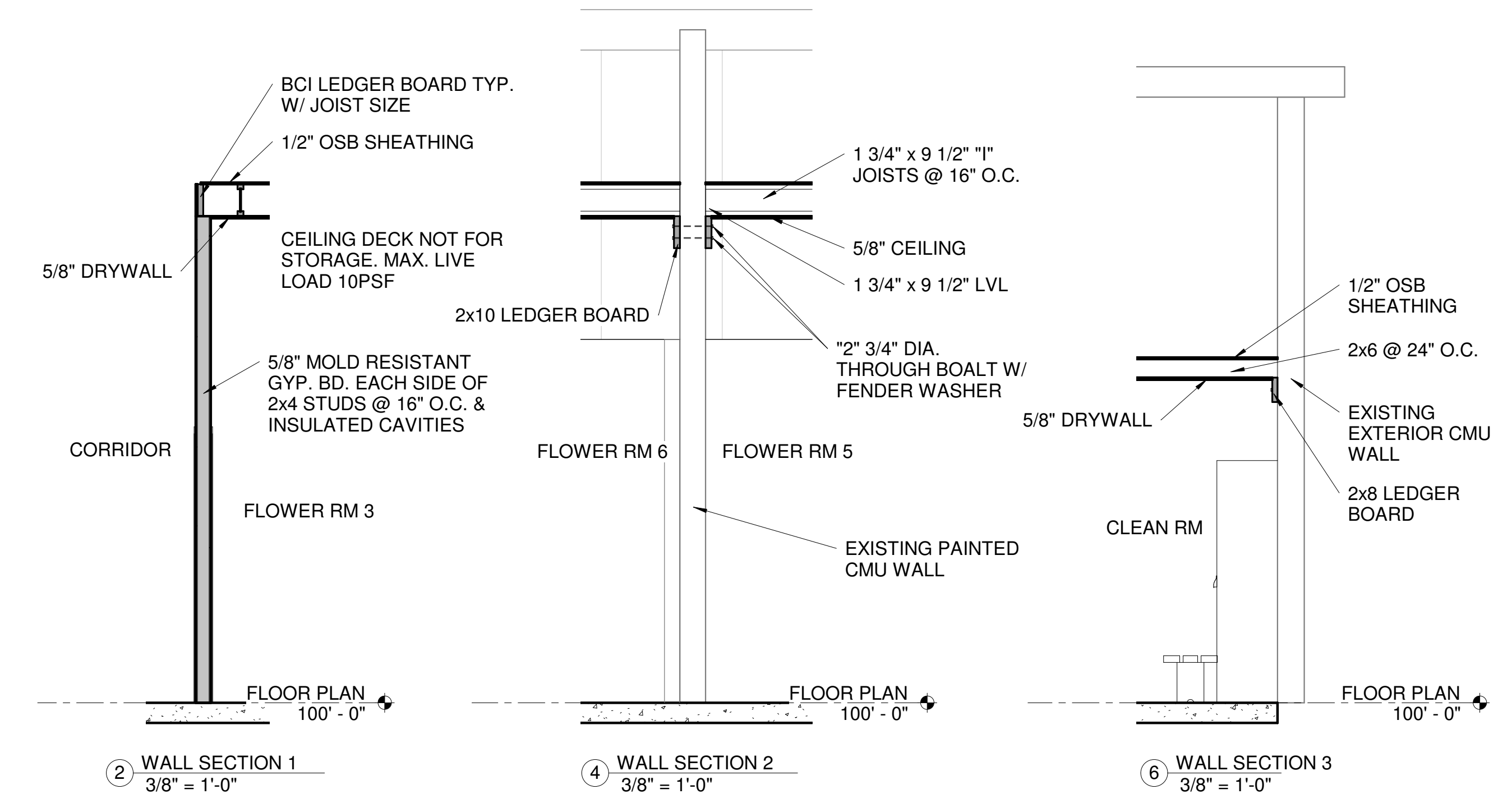


3 RETAIL SPACE COUNTER
1/2" = 1'-0"



DOOR SCHEDULE

Type	Mark	Height	Width	FIRE RATING	PANEL MATERIAL	Panel Type	Frame Material	FRAME TYPE	CARD ACCESS	WEATHER PACKAGE	Comments
36" x 80"	1	6'-8"	3'-0"	N/A							EXISTING REPLACE IF NEEDED
36" x 80"	2	6'-8"	3'-0"	N/A							NEW
Pull Plate	3	6'-8"	3'-0"	N/A							NEW - STORE FRONT
36" x 80"	4	6'-8"	3'-0"	N/A							EXISTING - REVERSE DOOR SWING
36" x 80"	5	6'-8"	3'-0"	N/A							NEW
36" x 80"	6	6'-8"	3'-0"	N/A							NEW
36" x 80"	7	6'-8"	3'-0"	N/A							NEW
36" x 80"	8	6'-8"	3'-0"	N/A							NEW
40" x 80"	9	6'-8"	3'-4"	N/A							EXISTING
72" x 80"	10	6'-8"	6'-0"	N/A							NEW
48" x 80"	11	6'-8"	4'-0"	N/A							NEW
36" x 80"	12	6'-8"	3'-0"	N/A							NEW
36" x 80"	13	6'-8"	3'-0"	N/A							NEW
48" x 80"	14	6'-8"	4'-0"	N/A							NEW
48" x 80"	15	6'-8"	4'-0"	N/A							NEW
48" x 80"	16	6'-8"	4'-0"	N/A							NEW
48" x 80"	17	6'-8"	4'-0"	N/A							NEW
48" x 80"	18	6'-8"	4'-0"	N/A							NEW
48" x 80"	19	6'-8"	4'-0"	N/A							NEW
48" x 80"	20	6'-8"	4'-0"	N/A							NEW
48" x 80"	21	6'-8"	4'-0"	N/A							NEW
36" x 80"	22	6'-8"	3'-0"	N/A							NEW
36" x 80"	23	6'-8"	3'-0"	N/A							NEW - CHECK HEIGHT CLEARANCE
36" x 80"	24	6'-8"	3'-0"	N/A							NEW - CHECK HEIGHT CLEARANCE
36" x 80"	25	6'-8"	3'-0"	N/A							NEW
48" x 80"	26	6'-8"	4'-0"	N/A							NEW
36" x 80"	27	6'-8"	3'-0"	N/A							NEW - CHECK HEIGHT CLEARANCE
36" x 80"	28	6'-8"	3'-0"	N/A							NEW
36" x 80"	29	6'-8"	3'-0"	N/A							NEW
36" x 80"	30	6'-8"	3'-0"	N/A							NEW
9'-0" X 9'-0"	32	9'-0"	9'-0"	N/A							EXISTING
14'-0" X 16'-0"	33	14'-0"	16'-0"	N/A							EXISTING - REPLACE IF NOT IN GOOD CONDITION
Cased Opening	34	7'-0" VIF	6'-1 1/2" VIF	N/A							REMOVE EXISTING DOOR-KEEP OPENING WIDTH THE SAME
36" x 80"	35	6'-8"	3'-0"	N/A							NEW - CHECK HEIGHT CLEARANCE
36" x 80"	37	6'-8"	3'-0"	N/A							REPLACE EXISTING DOOR
Grand total: 36											



Contractor:

PROPOSED PROJECT FOR:
TOP SHELF BURTON, LLC
 4463 S DORT HWY.

Project Phase:
 Design
 Permit
 Construction

Date

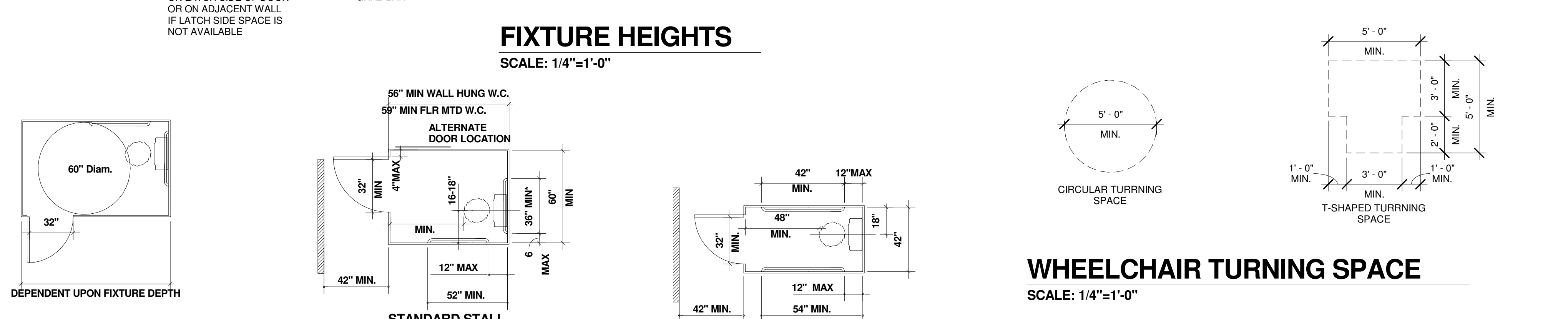
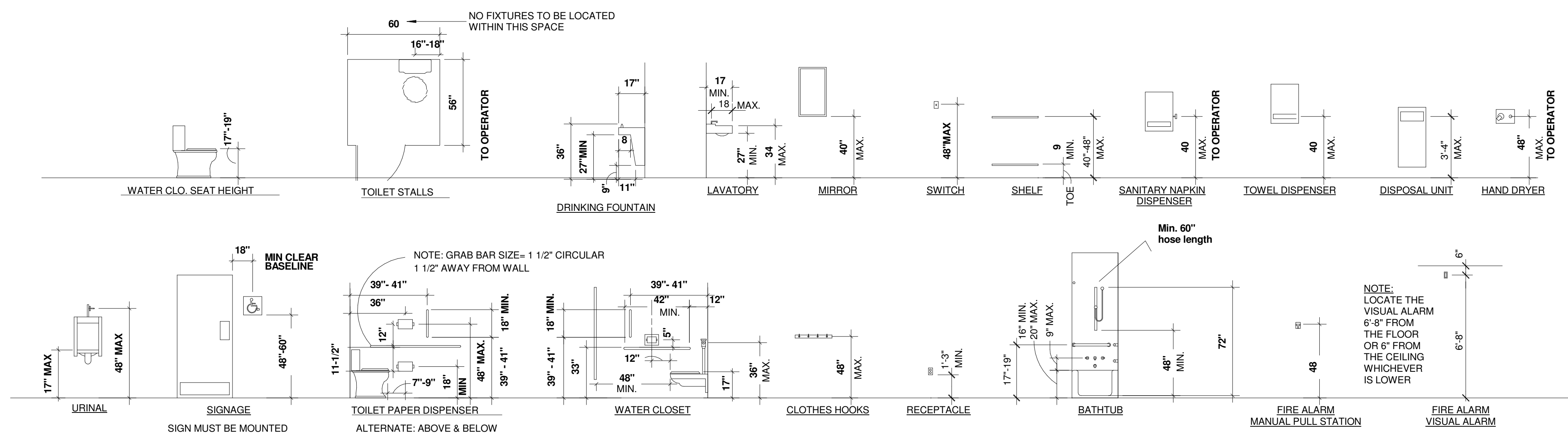
Rev. Description

Project # 2037
 Drawn by: Author
 Checked by: Checker

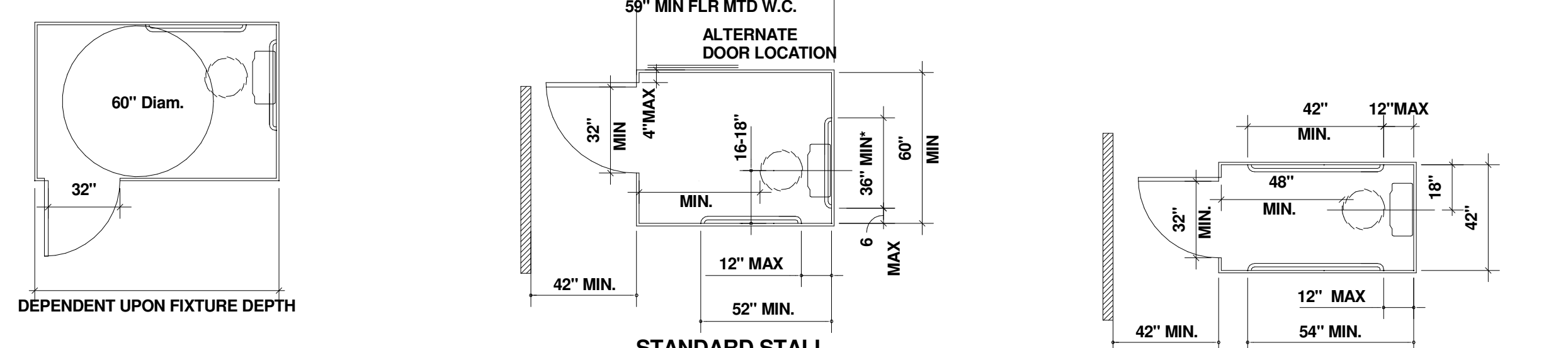
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BUILDING SECTIONS

A302



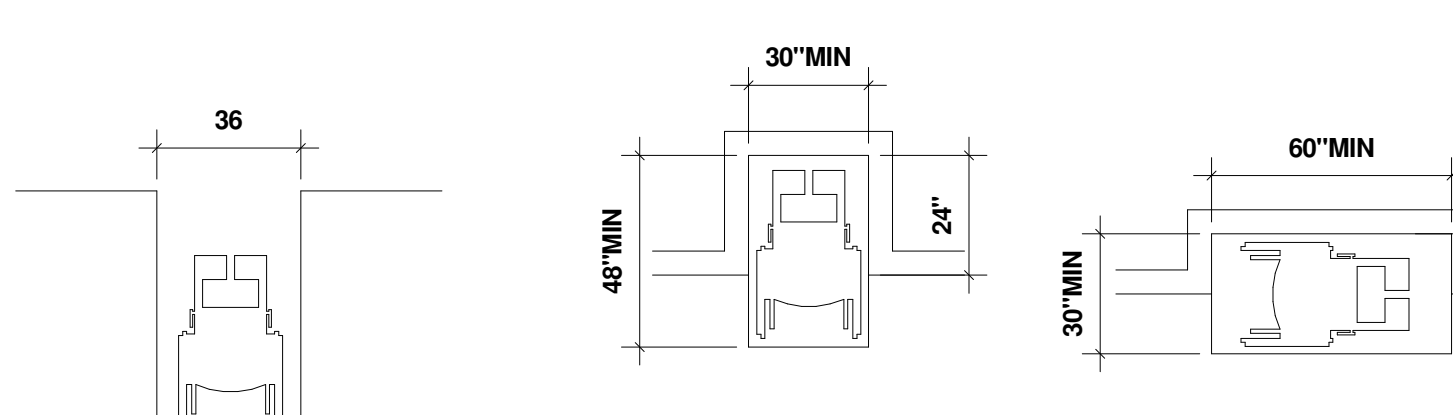
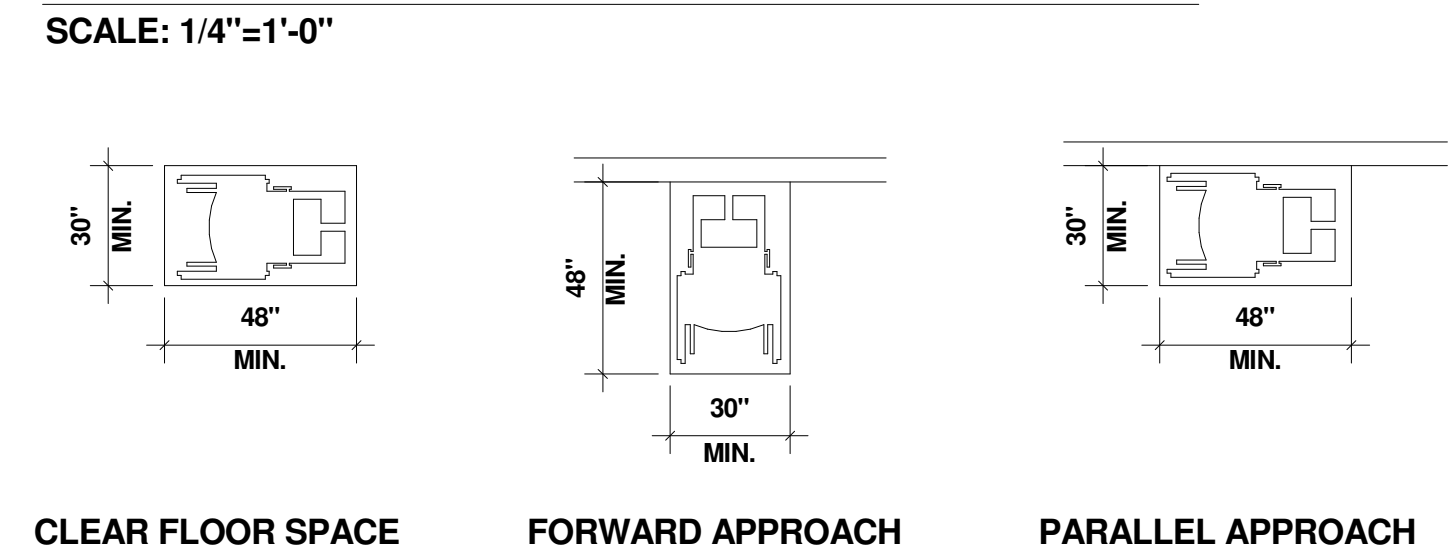
FIXTURE HEIGHTS
 SCALE: 1/4"=1'-0"



TOILET STALLS
 SCALE: 1/4"=1'-0"

NOTE: ALL DIMENSIONS FOR TOILET STALL DOORS SHOW CLEAR OPENING WIDTH

WHEELCHAIR TURNING SPACE
 SCALE: 1/4"=1'-0"



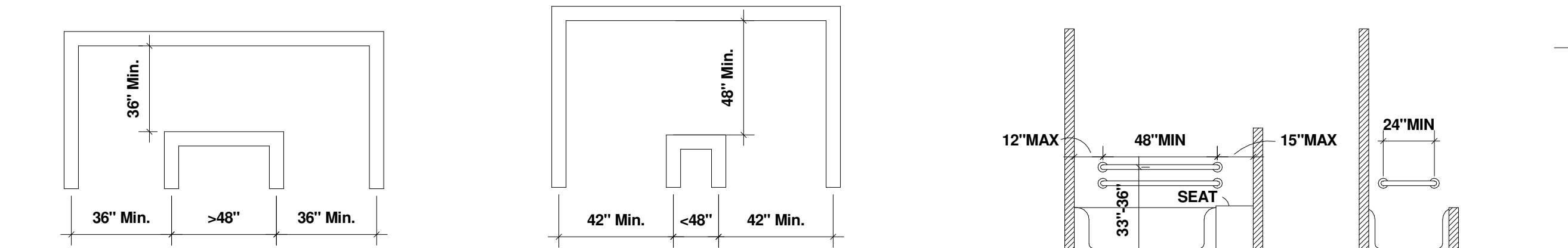
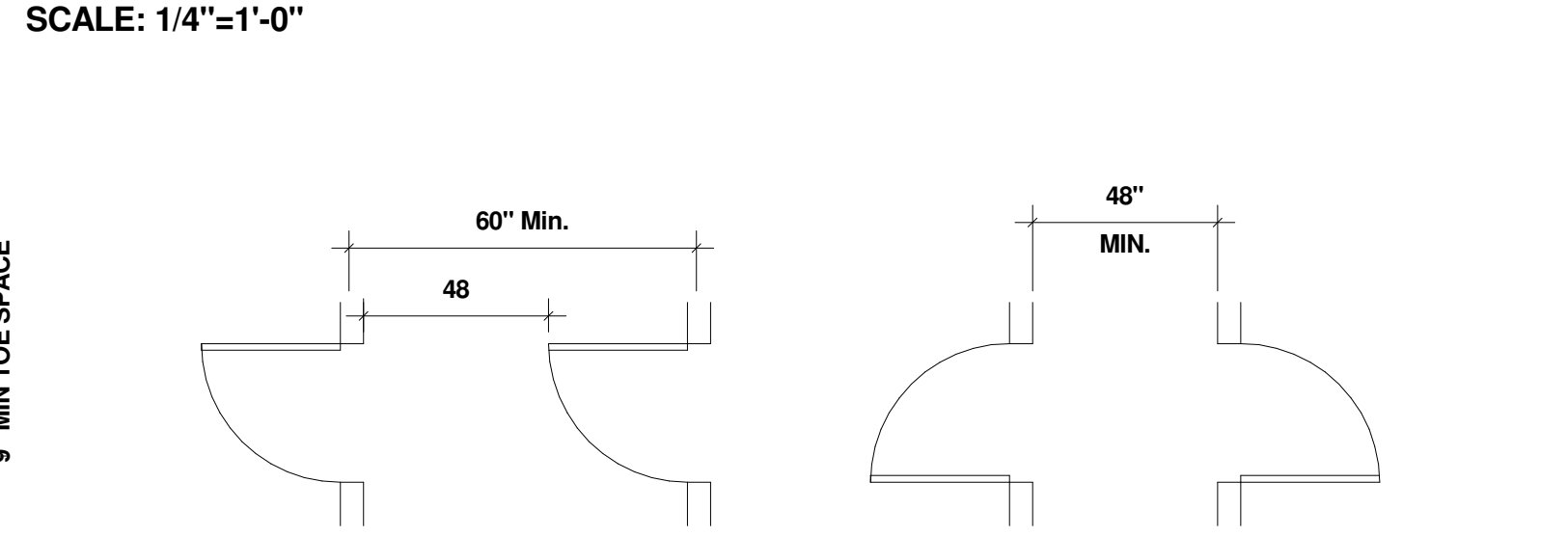
WHEELCHAIR PASSAGE WIDTH
CLEAR FLOOR SPACE IN ALCOVES

TABLE 603.6
 MAXIMUM REACH DEPTH AND HEIGHT

	0.5 inch (13 mm)	2 inches (51 mm)	5 inches (125 mm)	6 inches (150 mm)	9 inches (230 mm)	11 inches (280 mm)
Maximum Reach Depth	2 inches (51 mm)	4 inches (102 mm)	4 inches (102 mm)	4 inches (102 mm)	4 inches (102 mm)	4 inches (102 mm)
Maximum Reach Height	48 inches (1220 mm)	46 inches (1170 mm)	42 inches (1065 mm)	40 inches (1015 mm)	36 inches (915 mm)	34 inches (865 mm)

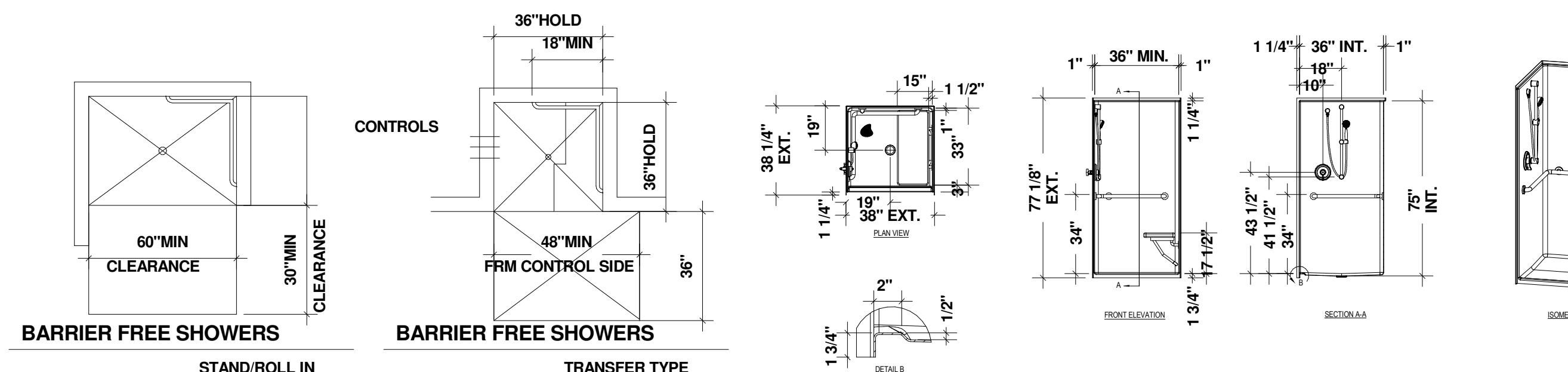
NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES
 NOTE: ALL DOORS MINIMUM 32" CLEAR OPENING

MANEUVERING CLEARANCES AT DOORS
 SCALE: 1/4"=1'-0"



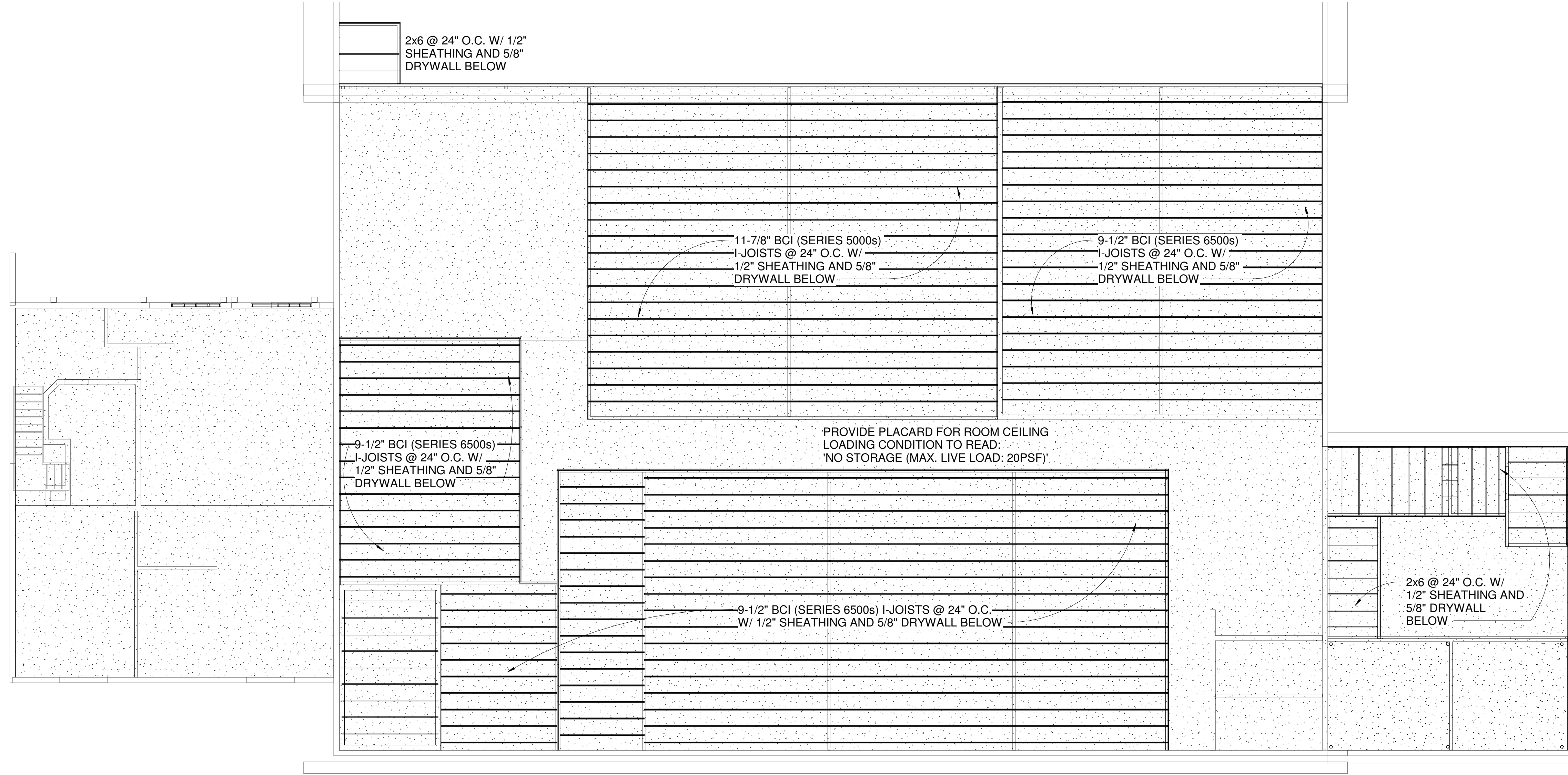
ACCESSIBLE ROUTE WIDTHS

GRAB BARS AT BATHTUBS WITH PERMANENT SEATS



MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS
 SCALE: 1/4"=1'-0"

TWO HINGED DOORS IN SERIES
 SCALE: 1/4"=1'-0"



① STRUCTURAL FRAMING PLAN
1/8" = 1'-0"

